

# General Plan-IRWM

Tuolumne County General Plan Update

# How does development “develop” in Tuolumne County?



# What is a General Plan?

- ▶ “Constitution” for growth and development
- ▶ Establishes common vision and desired outcomes
- ▶ Provides consistent direction for future development - 2040 Horizon
- ▶ Balances growth, conservation, and quality of life
- ▶ Required under California State Legislation

# What is in a General Plan?

- ▶ Required chapters called “Elements”
  - ▶ Land Use
  - ▶ Noise
  - ▶ Circulation
  - ▶ Housing
  - ▶ Safety
  - ▶ Open Space
  - ▶ Conservation





# Other Contents

- ▶ County has adopted Optional Elements
  - ▶ Cultural Resources
  - ▶ Economic Development
  - ▶ Cultural Resources
  - ▶ Recreation
  - ▶ Agriculture



# Other Contents

- ▶ Community Identity
- ▶ Air Quality
- ▶ Water Resources
- ▶ Public Facilities
- ▶ Healthy Communities
- ▶ 5 Community Plans
  - ▶ Jamestown
  - ▶ Tuolumne
  - ▶ Columbia
  - ▶ East Sonora
  - ▶ Mtn Springs



# Elements Relative to IRWM

- ▶ Land Use
- ▶ Circulation
- ▶ Water Resources
- ▶ Economic Development
- ▶ Agriculture
- ▶ Public Facilities
- ▶ Open Space/Conservation

# General Plan Growth

- ▶ “Current” Population: 54,360 (CA Finance, Census, TCTC)
- ▶ General Plan Projected Population: 63,243 by 2040
- ▶ Promote infill and clustered patterns of development that facilitate the efficient and timely provision of urban infrastructure and services.
- ▶ Establish target growth areas to serve community needs and enhance the quality of life by providing for economic, housing and cultural opportunities within existing and new defined communities. Where possible, these target growth areas should be placed near transit stops, commercial centers, and other services.



## General Plan Update Land Use Designations by Acreage

| General Plan Designation         | Acreage          | Percent of Total Acreage |
|----------------------------------|------------------|--------------------------|
| High Density Residential (HDR)   | 774              | 0.05%                    |
| Medium Density Residential (MDR) | 259              | 0.02%                    |
| Low Density Residential (LDR)    | 12,563           | 0.86%                    |
| Estate Residential (ER)          | 15,312           | 1.05%                    |
| Homestead Residential (HR)       | 4,703            | 0.32%                    |
| Rural Residential (RR)           | 34,403           | 2.36%                    |
| Large Lot Residential (LR)       | 9,576            | 0.66%                    |
| Agricultural (AG)                | 156,226          | 10.71%                   |
| Timber Production (TPZ)          | 85,848           | 5.89%                    |
| Open Space (O)                   | 765              | 0.05%                    |
| Public (P)                       | 1,125,040        | 77.14%                   |
| Parks and Recreation (R/P)       | 5,296            | 0.36%                    |
| Neighborhood Commercial (NC)     | 72               | <0.01%                   |
| General Commercial (GC)          | 673              | 0.05%                    |
| Heavy Commercial (HC)            | 106              | 0.01%                    |
| Special Commercial (SC)          | 573              | 0.04%                    |
| Business Park (BP)               | 319              | 0.02%                    |
| Light Industrial (LI)            | 566              | 0.04%                    |
| Heavy Industrial (HI)            | 1,040            | 0.07%                    |
| Mixed Use (MU)                   | 385              | 0.03%                    |
| <b>Total Acreage</b>             | <b>1,458,458</b> | <b>100%</b>              |

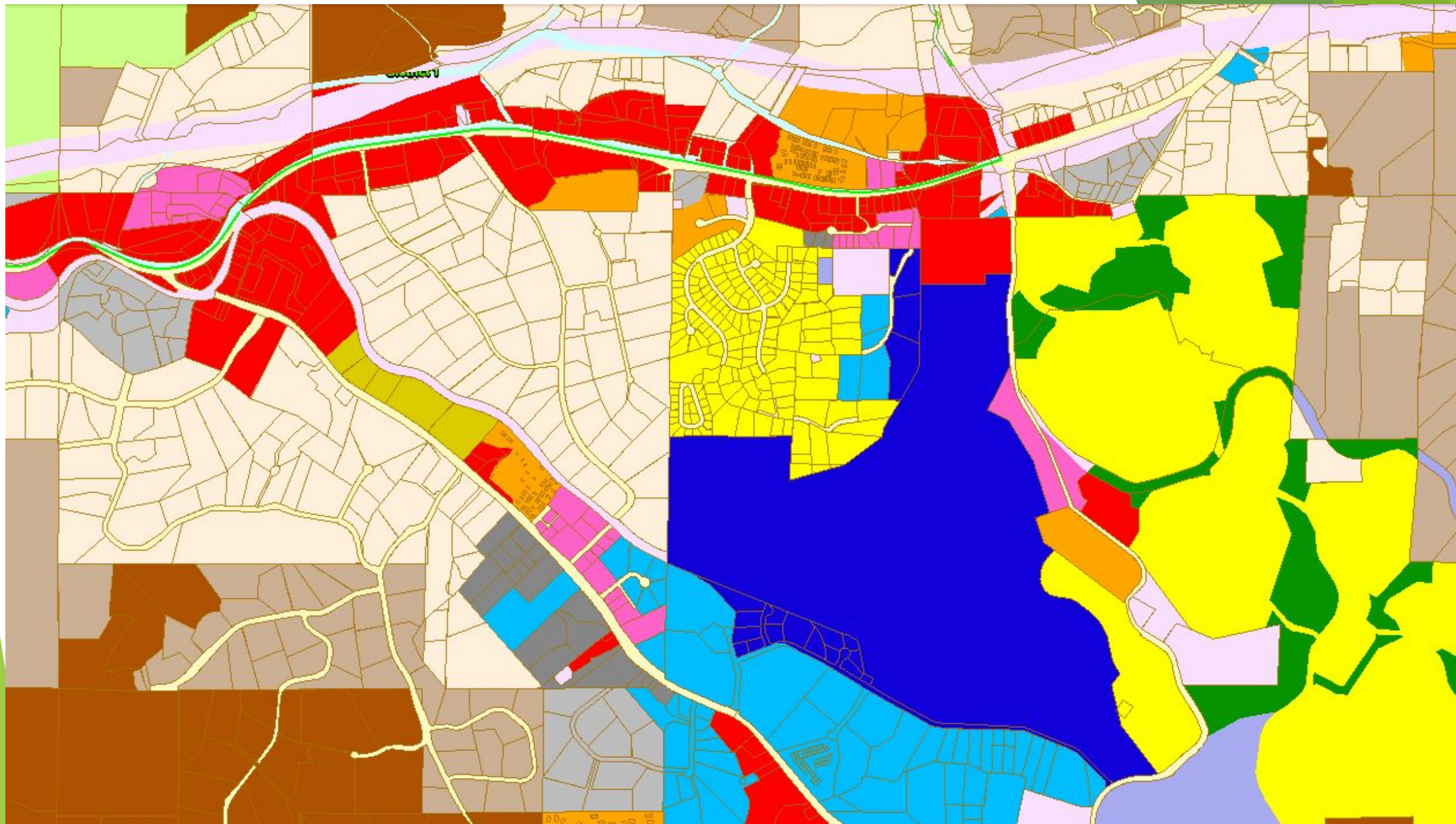
Source: Tuolumne County General Plan Update, 2015

# Land Use Changes-Housing

| Proposed GP Changes                      | Acres  |
|--|--------|
| Mixed Use                                | 120.9  |
| HDR                                      | 207.6  |
| MDR                                      | 154    |
| LDR                                      | 1689   |
| Total Additional Proposed LDR/MDR/HDR/MU | 2171.5 |

**Projected Additional Units  
Under Build out of General Plan (2040)**

|  |                    |
|--|--------------------|
|  |                    |
| <b>Single-Family Residential Development</b> |                    |
| <b>Additional Units</b>                      | <b>4,332 units</b> |
| <b>Multi-Family Residential Development</b>  |                    |
| <b>Additional Units</b>                      | <b>670 units</b>   |
| <b>Commercial Development</b>                |                    |
| <b>Additional Space</b>                      | <b>759,780 sf</b>  |
| <b>Industrial Development</b>                |                    |
| <b>Additional Space</b>                      | <b>158,760 sf</b>  |





# How does the General Plan affect you?

- ▶ How you and your neighbors can develop and use your property
- ▶ How easy it is to get to your job and services
- ▶ How long you sit in traffic during your commute
- ▶ The number and types of jobs available in your community
- ▶ The look and feel of neighborhood
- ▶ Number and quality of parks available to you
- ▶ Your exposure to unwanted noise
- ▶ Risk to you and your property from environmental hazards
- ▶ How cultural and natural resources around you are conserved